

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th May 2011

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
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Andy Higham Tel: 020 8379 3848
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Ward: Southgate

Application Number : LBE/11/0006

Category: Other Development

LOCATION: SOUTHGATE LEISURE CENTRE, WINCHMORE HILL ROAD, LONDON, N14 6AD

PROPOSAL: Demolition of part of existing building and erection of a part single storey, part 2-storey front extension to provide a gym at first floor, new entrance, reconfiguration of car parking layout and associated landscaping.

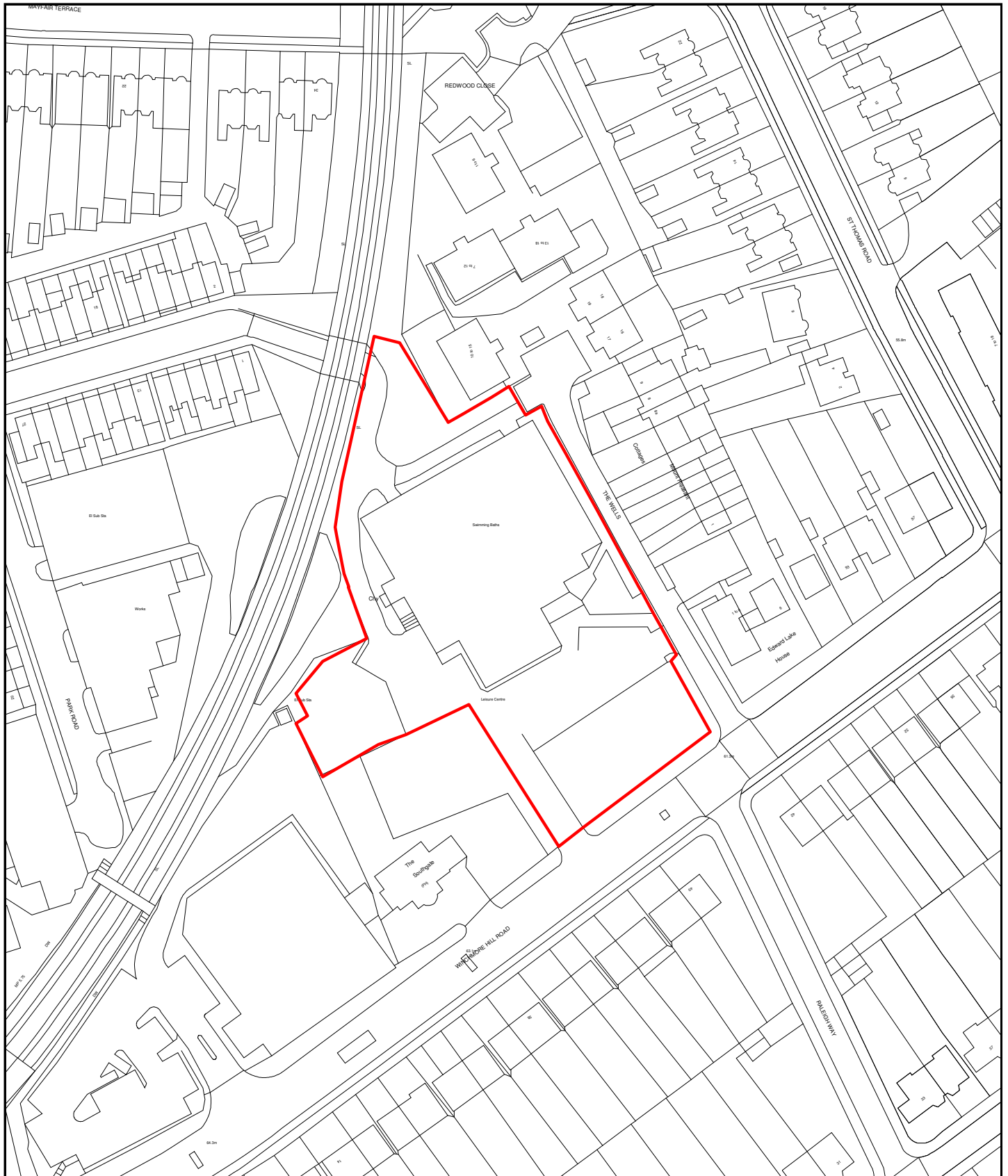
Applicant Name & Address:

Mr Simon Gardner
CIVIC CENTRE,
SILVER STREET,
ENFIELD,
EN1 3XA

Agent Name & Address:

Kerry White,
Archer Architects
Office 7, Gateway 1000
Arlington Business Park
Whittle Way
Stevenage
Hertfordshire
SG1 2FP

RECOMMENDATION: That planning permission be **GRANTED** subject to conditions.



Development Control



Scale - 1:1250
Time of plot: 10:31

Date of plot: 04/05/2011

1. Site and Surroundings

- 1.1 The Leisure centre is located on the northern side of Winchmore Hill Road on the north eastern edge of Southgate town centre. The western boundary is formed by The Wells which serves a number of residential properties. In addition, the Piccadilly Underground line lies to the north of the site and the Fish Mongers Arms (PH) is located to the west.
- 1.2 The existing Leisure Centre is 2/3 storey in height and is set back from the Winchmore Hill Road frontage: separated by greensward and parking. The ground levels slope from the from this road frontage, northwards, to the rear of the site
- 1.3 The site can be accessed from Winchmore Hill Road and The Wells.

2. Proposal

- 2.1 The application is for the demolition of part of the existing building and the construction of a part single storey, part two storey front extension together with a new entrance, reconfiguration of the car parking layout and associated landscaping. The first floor extension would provide for a new gym, studios and crèche. The internal layout would also be amended to create a new reception including café area with redesigned flexible changing and dry changing facilities.
- 2.2 The proposed front extension would project 17 metres (max) and span the width of the existing building (47m) with a maximum height of approximately 7.8m. The framed glazed lobby would extend beyond the massing of the double storey element of the building with a maximum height of approximately 3.4m. The extensions would create an additional gross external floor area of approximately 577 sq.m.
- 2.3 The car parking would be altered to provide for 99 spaces, including 6 disabled bays and 3 parent and toddler bays. It is also proposed to allow for eight cycle stands to accommodate for up to 16 bikes.

3. Relevant Planning Decisions

- 3.1 There is no relevant planning history

4. Consultations

4.1 Statutory and non-statutory consultees

- 4.1.1 Traffic and Transportation raise no objections subject to conditions
- 4.1.2 Environment Agency raise no objections, but highlight the need for adequate surface water drainage to avoid potential flood risks
- 4.1.3 London Underground raise no objections
- 4.1.4 Thames Water raise no objections in regards to surface water drainage and water infrastructure

4.1.5 Any further comments will be reported at the meeting

4.2 Public

4.2.1 Forth seven neighbouring properties were consulted. Press and site notices were also posted. Three representations were received, which raised the following planning considerations:

- Pedestrian access and egress in regards to safety and impact on residents
- Noise and disturbance to residents from parking layout
- Parking of vehicles on The Wells

5. **Relevant Policy**

5.1 Core Strategy

At the meeting of the full Council on 10th November 2010, the Core Strategy of the Local Development Framework was approved. The document and the policies contained therein are now material considerations to be taken into account when considering the acceptability of development proposals. The following are of relevance

SO8:	Transportation and accessibility
SO10:	Built environment
CP9	Supporting Community Cohesion
CP11	Recreation, Leisure, Culture & Arts
CP20	Sustainable Energy Use and Energy Infrastructure
CP21	Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
CP30	Maintaining and Improving the Quality of the Built and Open Environment
CP31	Built and Landscape Heritage
CP32	Pollution
CP36	Biodiversity

5.2 Unitary Development Plan

After the adoption of the Core Strategy, a number of UDP policies are retained as material considerations pending the emergence of new and updates policies and development standards within the Development Management Document. The following are of relevance:

(II)GD3	Design
(II)GD6	Traffic Generation
(II)GD8	Access and Servicing
(II) H8	Privacy

5.3 London Plan

3A.18	Protection and Enhancement of Social Infrastructure and Community
3C.23	Parking Strategy
3D.6	Sports facilities

3D.13	Children and Young People's Play and informal recreation strategies
3D.14	Biodiversity and nature conservation
3D.15	Trees and woodland 188
3D.16	Geological Conservation
4B.1	Design Principles for a Compact City
4B.2	Design
4B.8	Respect Local Context and Character
4B.11	London's built heritage
4B.12	Heritage conservation

5.4 Other Relevant Policy

PPS1	Delivering Sustainable Development
PPS5	Planning for the Historic Environment
PPG13	Transportation
PPG17	Planning for Open Space, Sport and Recreation

6. **Analysis**

6.1 Principle

6.1.1 Core Policy 11 of the Core Strategy seeks to protect existing leisure assets and provision whilst also promoting the increased use of recreation, leisure, culture and arts facilities in the Borough. The proposed improvement to the existing facility therefore, would be consistent with this policy and the thrust of wider regional and national planning policy. In principle therefore, the proposal represents an acceptable use of this land having regard to policies CP9 and CP11 of the Core Strategy, 3A.18 of the London Plan as well as PPG17.

6.2 Design and Impact on Character of the Area

6.2.1 It is acknowledged that the front extension proposed would present a significant addition to the building. Nevertheless, its design provides a simple development form which with a lower height, is sympathetic to the appearance of the main retained building housing the swimming pool. Moreover, the external materials would also support this acceptable appearance.. Thus, together with the design of the front entrance, the proposal would represent a development that would not detract from the character and appearance of the area.

6.2.2 A second contributor to the character and appearance is the alterations to the front landscaped area. This area provides a green setting to the existing leisure centre and although it would be largely retained, an element would be lost to the enlargement and reconfiguration of the car park. This does involve some loss of trees and landscaping but this can be mitigated by replacement plant secured by condition. This element is thus also considered to be acceptable

6.3 Impact on Neighbouring Amenities

6.3.1 The nearest residential properties are sited approximately 20m to the east on The Wells and face the flank elevation of the development. There are no overlooking windows but the front gardens do have some amenity value.

Mindful of this and noting the residential properties are to the north of the proposed extension, it is still considered the residential amenities would not be affected in terms of a loss of light or outlook. Therefore the proposed development is considered to have no undue impact on residential amenities.

6.3.2 The Leisure Centre is an existing facility and although the proposals will in all likelihood increase the number of people and thus vehicles attending the site, it is considered this increase would not be sufficient given the relationship to residential properties, to warrant refusal of the planning application.

6.4 Sustainability and Biodiversity

6.4.1 Insufficient information has been submitted in regards to Sustainable Design and Construction and Biodiversity; however these details could be secured by condition, should the scheme be granted.

6.5 Car Parking and Access

6.5.1 The site has a PTAL of 4 with existing access from Winchmore Hill Road and egress to The Wells. Access and egress will remain as existing and is one way only. Access is from Winchmore Hill Road (classified) and an egress is to The Wells (non classified). Pedestrian access will also remain as existing.

6.5.2 As the access and egress arrangements will remain as existing then the main issue is the amended parking layout and provision of more spaces. The parking standards for a D2 use taken from PPG13 are 1 space per 22m², which would mean a requirement of 94 spaces. The provision of 99 is therefore considered acceptable, as is the provision of 16 cycle spaces. Servicing will also remain as existing.

6.5.3 One other concern is the pedestrian access. Discussions with the applicant have confirmed that the access would remain as existing and benefit from the path running through the landscaped land at the frontage. Although a designated pedestrian access to go in adjacent to the existing vehicular access was discussed, it is considered that maintaining the existing but adding signage would be sufficient due to the one way nature of the access and the existing 'desire line' that has been created through the landscaping. The applicant has also confirmed that the existing pedestrian access at the front of the site, although slightly modified, would still have the informal crossing and the segregated footpath similar to the existing layout. However, due to the addition of another row of cars then some provision of an access through the middle row of car parking spaces should be included although this could be achieved through the parking layout condition, should the scheme be granted.

7. **Conclusion**

7.1 Having regard to the above considerations, it is considered the proposal is acceptable and would not unduly prejudice the character, appearance and residential amenities of the surrounding area or have detrimental impacts on highways, parking or pedestrian safety. The proposal is therefore considered acceptable for the following reasons:

1. The proposals would not lead to conditions that would be detrimental to the highway safety and convenience in the locality, having regard to

Policies (II) GD6 and (II) GD8 of the Unitary Development Plan and 3C.23 of the London Plan.

2. The proposals, by virtue of their size, height and design, would ensure that there is no significant harm to the character and appearance of the street scene or neighbouring amenities, having regard to Policies (II) GD3 of the Unitary Development Plan, CP30 and CP32 of the Core Strategy.
3. The proposed development would improve and contribute to community recreation and leisure facilities having regard to CP9 and CP11 of the Core Strategy, Policies 3A.18 of the London Plan and PPG17.

8. Recommendation

8.1 That in accordance with Regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions:

1. Construction Methodology

That development shall not commence on site until a construction methodology has been submitted to and approved in writing by the LPA. The construction methodology shall contain: (i) photographic condition survey of the roads and footways leading to the site of construction, (ii) details of construction access and vehicle routing to the site, (iii) arrangements for vehicle servicing and turning areas, (iv) arrangements for the parking of contractors vehicles, (v) arrangements for wheel cleaning, (vi) arrangements for the storage of materials, (vii) arrangements for deliveries, (viii) hours of work, and, (ix) any and all works to maintain and make good the existing private access to the site both during and following construction. The development shall then be undertaken in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing roads and to minimise disruption to neighbouring properties.

- 2 C07 – Details of Materials
- 3 C09 – Hard Surfacing
- 4 C12 – Details of Parking/Turning Facilities
- 5 C17 – Details of Landscaping
- 6 C19 – Refuse Storage
- 7 C25 – No Additional Fenestration
- 8 C41 – Details of External Lighting
- 9 C59 – Cycle Parking
- 10 Rainwater Harvesting

The development shall not commence until details of a rainwater recycling system have been submitted to and approved in writing by the Local Planning Authority. The details submitted shall also demonstrate the maximum level of recycled water that can feasibly be provided to the development. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing

stock in accordance with Policy CP21 of the emerging Core Strategy, Policy 4A.16 of the London Plan 2008.

- 11 Sustainable Urban Drainage System
The development shall not commence until details of surface drainage works have been submitted and approved in writing by the Local Planning Authority. The details shall be based on an assessment of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles as set out in Appendix F of PPS25, London Plan Policy 4A.14 and SUR1 of the Code for Sustainable Homes. The drainage system shall be installed/operational prior to the first occupation and a continuing management and maintenance plan put in place to ensure its continued function over the lifetime of the development. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.
Reason: To ensure the sustainable management of water, minimise flood risk and to minimise discharge of surface water outside of the curtilage of the property in accordance with Policy CP28 of the Core Strategy, Policy 4A.14 of the London Plan 2008 and PPS25.
- 12 Biodiversity – Nesting Boxes
The development shall not commence until details of bird and/or bat nesting boxes/bricks shall be submitted to and approved in writing by the Local Planning Authority. The details shall include the exact location, specification and design of the habitats. The boxes/bricks shall be installed with the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.
Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiversity Action Plan and Policies 3D.14 and 4A,3 of the London Plan 2008.
- 13 Ecological Report
The development shall not commence until details of a full ecological report carried out by a suitably qualified ecologist (as defined by ECO1 of the Code for Sustainable Homes) have been submitted and approved in writing by the Local Planning Authority. The study should assess the ecological value of the site and contain a clear undertaking to positively enhance the ecology of the site, including measures to secure native planting, enhanced landscaping, the protection existing ecological features and measure to address habitat requirements for priority species outlined by the Biodiversity Action Plan. The study shall also set out a plan for the continued management and maintenance of the site and any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiversity Action Plan and Policies 3D.14 and 4A,3 of the London Plan 2008.

14 Green/Brown Roofs

The development shall not commence until details of the biodiversity (green/brown) roof(s) shall be submitted and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:

- a) Biodiversity based with extensive substrate base (depth 80-150mm);
- b) Sited in accordance with plan No. P 116 hereby approved; and, Planted/seeded with an agreed mix of species within the first planting season following practical completion of the building works.

The biodiversity (green/brown) roof shall not be used for any recreational purpose and access shall only be for the purposes of the maintenance and repair or means of emergency escape. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiversity Action Plan and Policies 3D.14, 4A,3 and 4B.5 of the London Plan 2008.

15 Energy – Renewable Energy Provision

The renewable energy technologies (air source heat pumps), which shall provide for no less than 17% on-site total CO₂ reduction as detailed within the ' Energy Strategy ' shall be installed and operational prior to the first occupation of the development. The development shall not commence until details of the renewable energy technologies shall be submitted and approved in writing by the Local Planning Authority. The details shall include:

The resulting scheme, together with any flue/stack details, machinery/apparatus location, specification and operational details;
A management plan and maintenance strategy/schedule for the operation of the technologies;

(if applicable) A servicing plan including times, location, frequency, method (and any other details the Local Planning Authority deems necessary);

(if applicable) A noise assessment and air-quality assessment regarding the operation of the technology; and

(if applicable) In the case of ground source heat pumps and ground source cooling confirmation that the system shall be a 'closed loop' system and shall not tap or utilise ground water / aquifer.

Should, following further assessment, the approved renewable energy option be found to be no-longer suitable:

A revised scheme of renewable energy provision, which shall provide for no less than 17% onsite CO2 reduction, shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site, the details shall also include a response to sub-points a) to e) above. The final agreed scheme shall be installed and operation prior to the first occupation of the development.

The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets by renewable energy are met in accordance with Policy CP20 of the Core Strategy, Policies 4A.4 and 4A.7 of the London Plan 2008 and PPS22.

16 Energy Efficiency

The development shall not commence until a detailed 'Energy Statement' has been submitted and approved in writing by the Local Planning Authority. Submitted details will demonstrate the energy efficiency of the development and shall provide for no less than 35% total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, and the use of renewable technologies.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 4A.4 and 4A.7 of the London Plan 2008 and PPS22.

17 BREAA Code for Sustainable Homes

Evidence confirming that the development achieves a BREEAM Bespoke/Other Buildings/ rating of no less than 'Very Good' shall be submitted to and approved in writing by the Local planning Authority. The evidence required shall be provided in the following formats and at the following times:

a design stage assessment, conducted by an accredited Assessor and supported by relevant BRE interim certificate, shall be submitted at pre-construction stage prior to the commencement of superstructure works on site; and,

a post construction assessment, conducted by an accredited Assessor and supported by relevant BRE accreditation certificate, shall be submitted following the practical completion of the development and prior to the first occupation.

The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development in accordance with the strategic objectives of the Council and Policies 4A.1, 4A.2, 4A.3 and 4A.9 of the London Plan as well as PPS1.

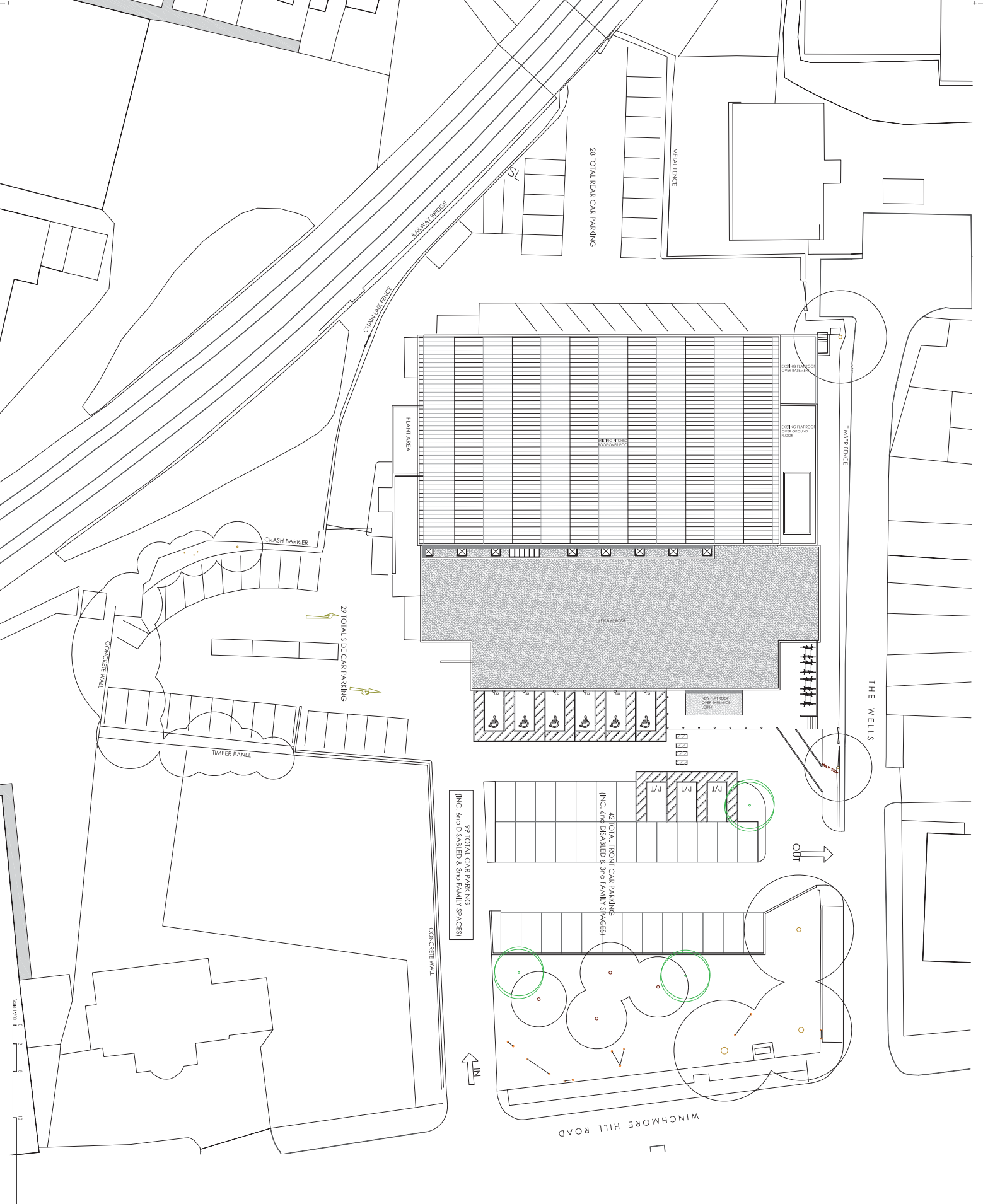
18 Materials – Green Procurement Plan

The development shall not commence until a Green Procurement Plan has been submitted to and approved in writing by the Local Planning Authority. The Green Procurement Plan shall demonstrate that materials used in the development are sustainably and responsibly resourced through compliance with the requirements of MAT1, MAT2 and MAT3 of the Code for Sustainable Homes and/or relevant BREEAM standard and a clear commitment to the reuse and recycling of construction, demolition and excavation waste.

The development shall be constructed strictly in accordance with the Green Procurement Plan so approved.

Reason: To ensure sustainable procurement of materials which minimises the negative environmental impacts of construction in accordance with Policy CP22 and CP23 of the Core Strategy and Policies 4A.1; 4A.2; 4A.3; 4A.4; 4A.5 and 4A.6 of the London Plan 2008.

19 C51a – Time limit



FOR PLANNING

By Approved

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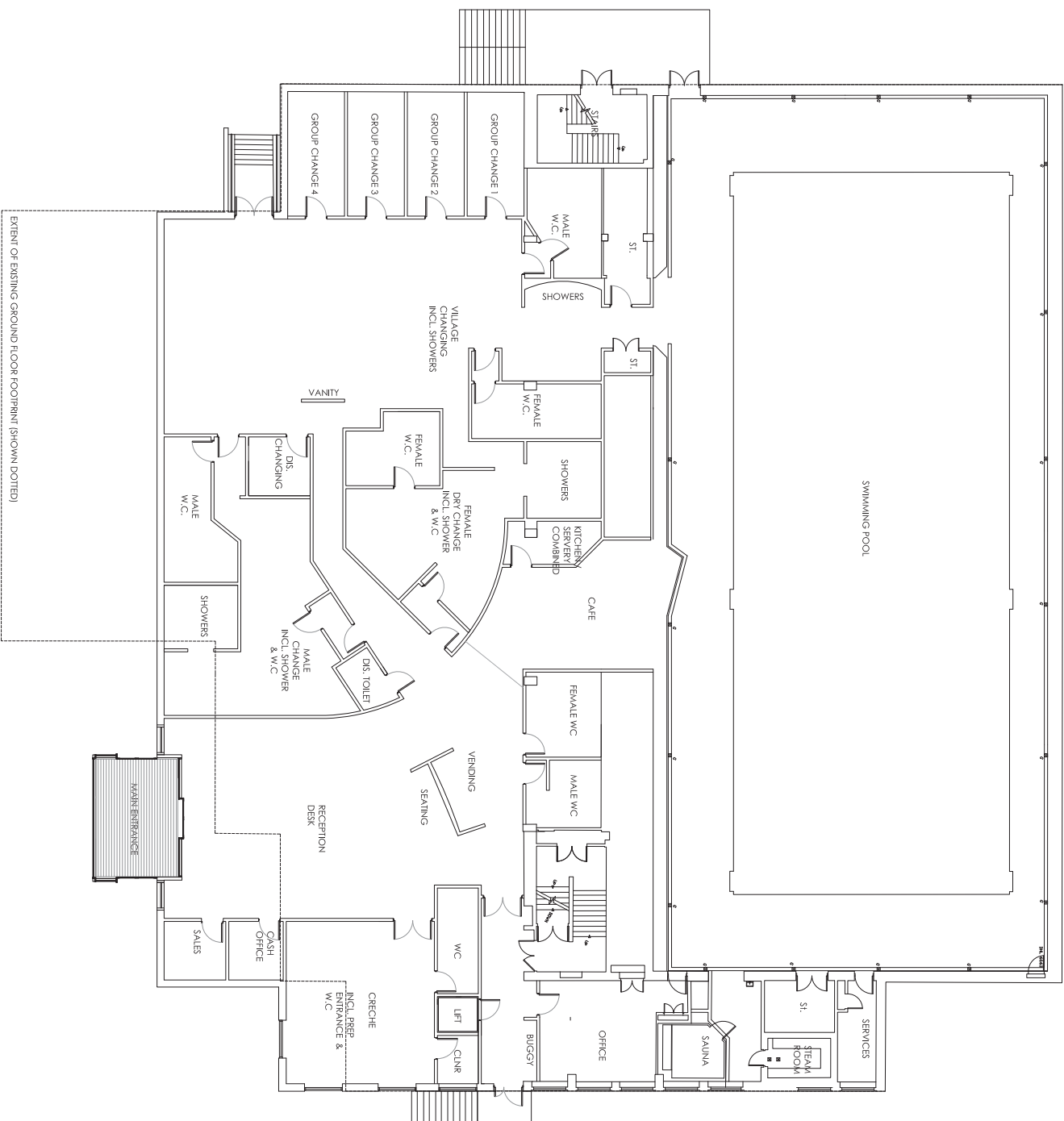
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CLIENT
ENFIELD COUNCIL


PROJECT
SOUTHGATE LEISURE CENTRE

TITLE
PROPOSED SITE PLAN

DATE	REVISION	DESIGNER	CHECKER
12/08/2011	03.12.10	MCJ	
PROJ. NO.	3796	DWG. NO.	(P) 112
REV.			



FOR PLANNING

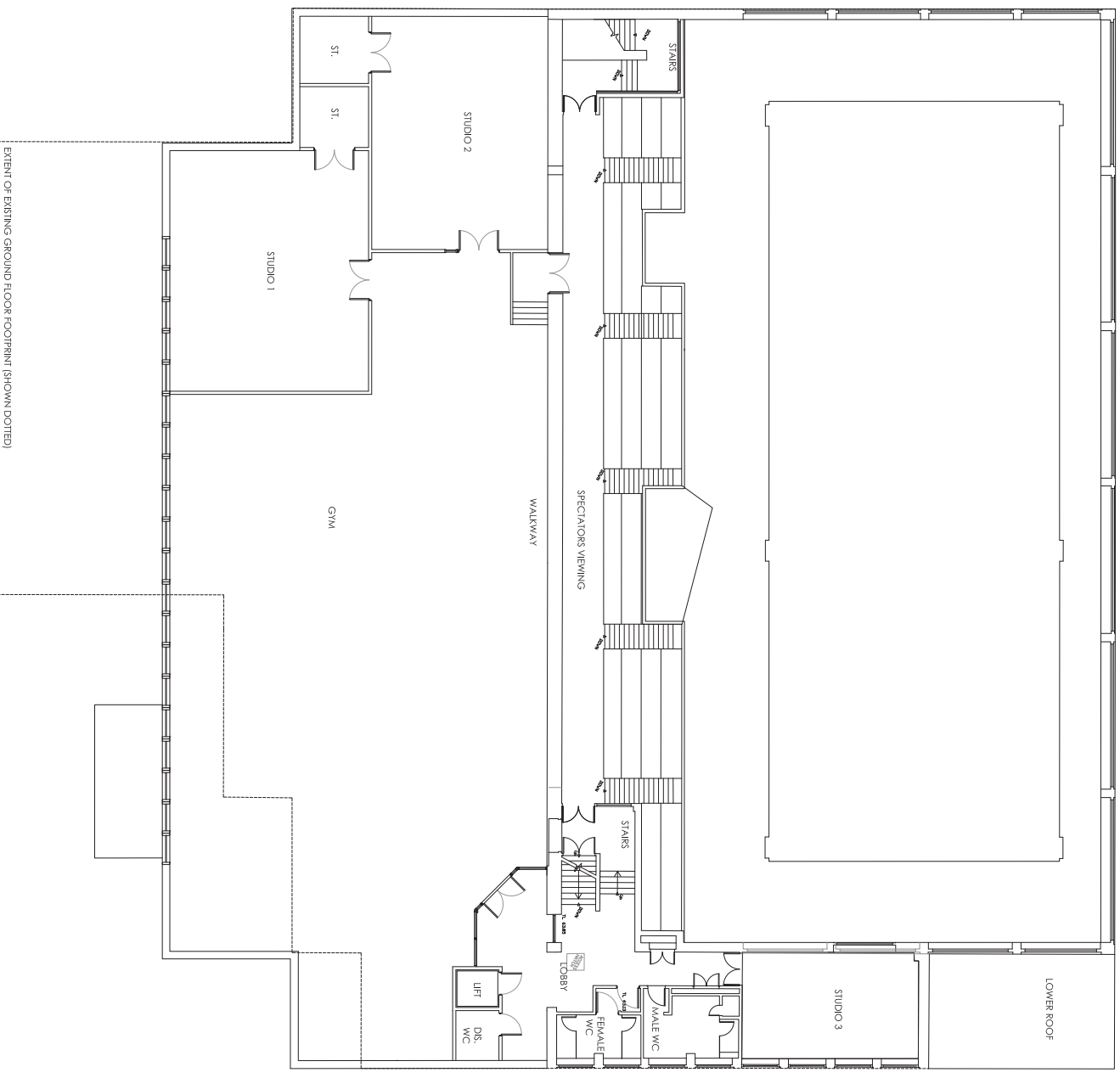

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PROJECT NO: 3796
 DATE: 17/08/21
 DRAWING NO: (P) 114

SCALE: 1:50



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CLIENT:
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PROJECT:
SOUTHGATE LEISURE CENTRE

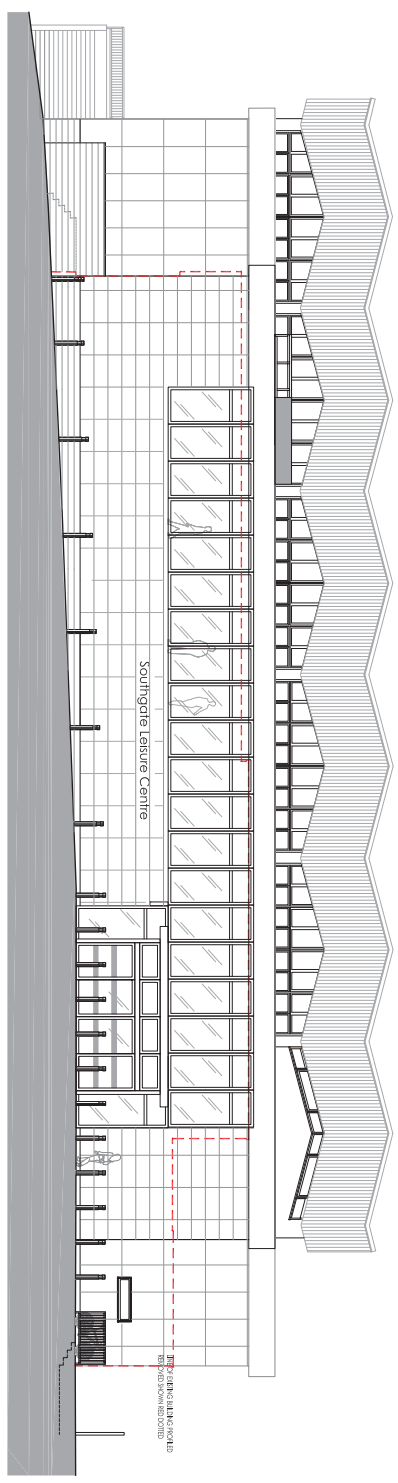
TITLE:
PROPOSED FIRST FLOOR PLAN



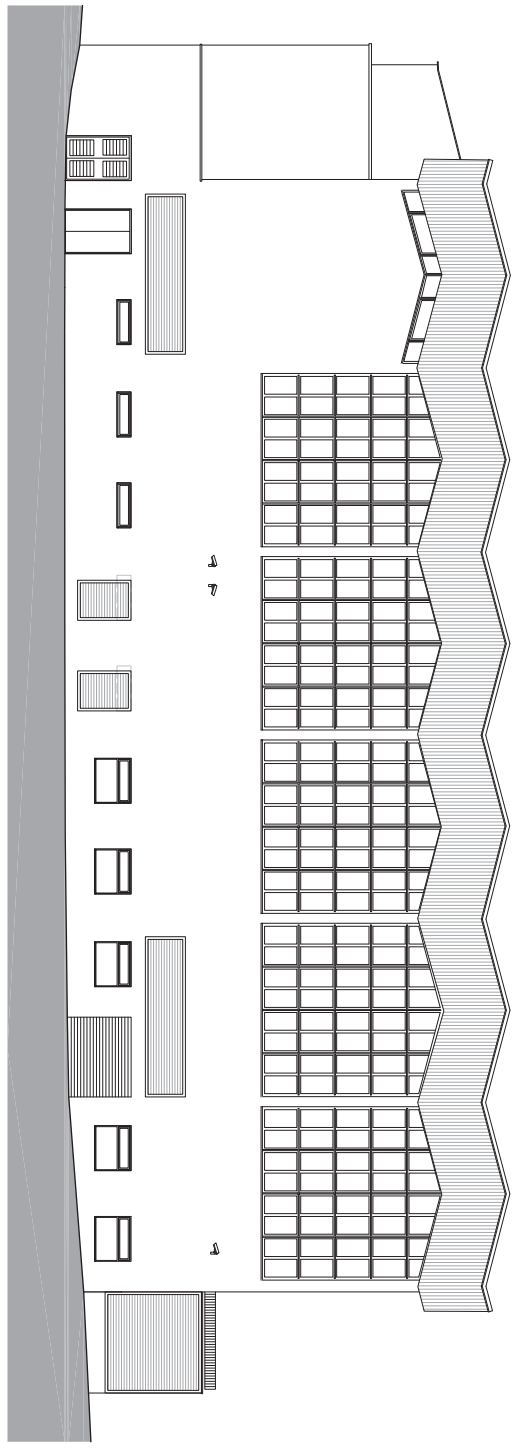
DATE	REVISION	BY	CHKD
17/08/21	01/12/10	MCJ	
PROJ LK	DWG LK	REV:	
3796	(P) 115		

MATERIALS

- Laminated cladding panels - Treppa panels (or similar) colour: Grey, to match existing. Front clad cladding panels in wood grain finish, colour: Rustic Brown.
- Roof Panel - Single ply membrane.
- New Clazing - PPC metal frames, colour: grey.
- Existing Windows - Repaint all frames, colour: grey
- Existing Doors - Repaint all frames + doors, colour: grey
- External Fixtures, Plant Louvers, Rollings and other Metalwork - finished colour: grey.



SOUTH (FRONT) ELEVATION - FACING WINCHMORE HILL ROAD



NORTH (REAR) ELEVATION

FOR PLANNING

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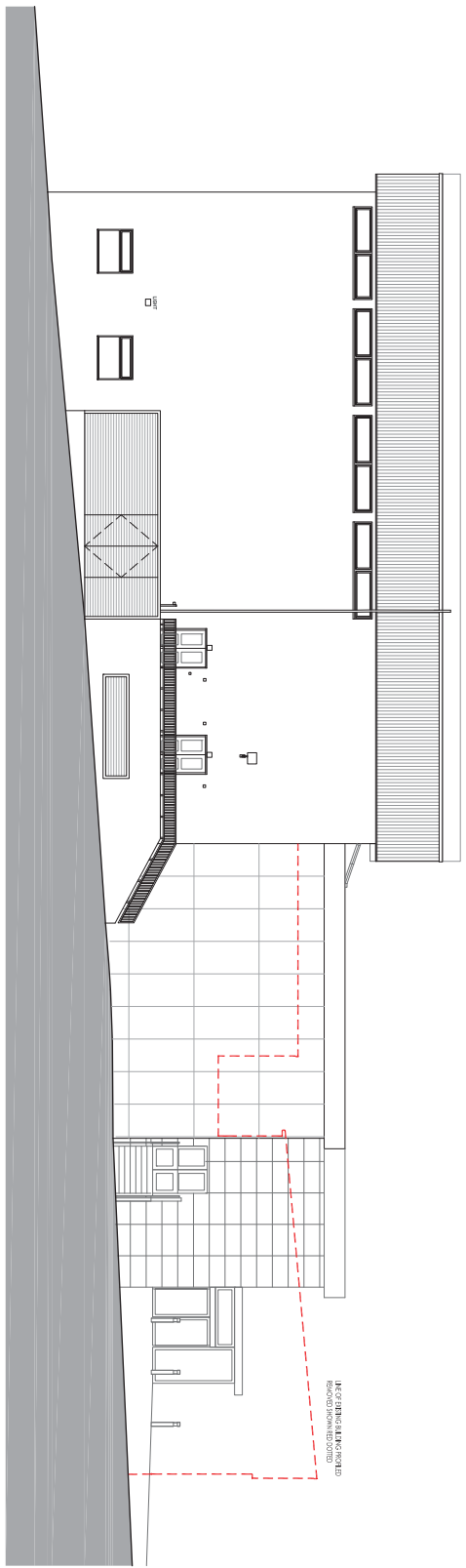
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PROJECT: SOUTHGATE LEISURE CENTRE

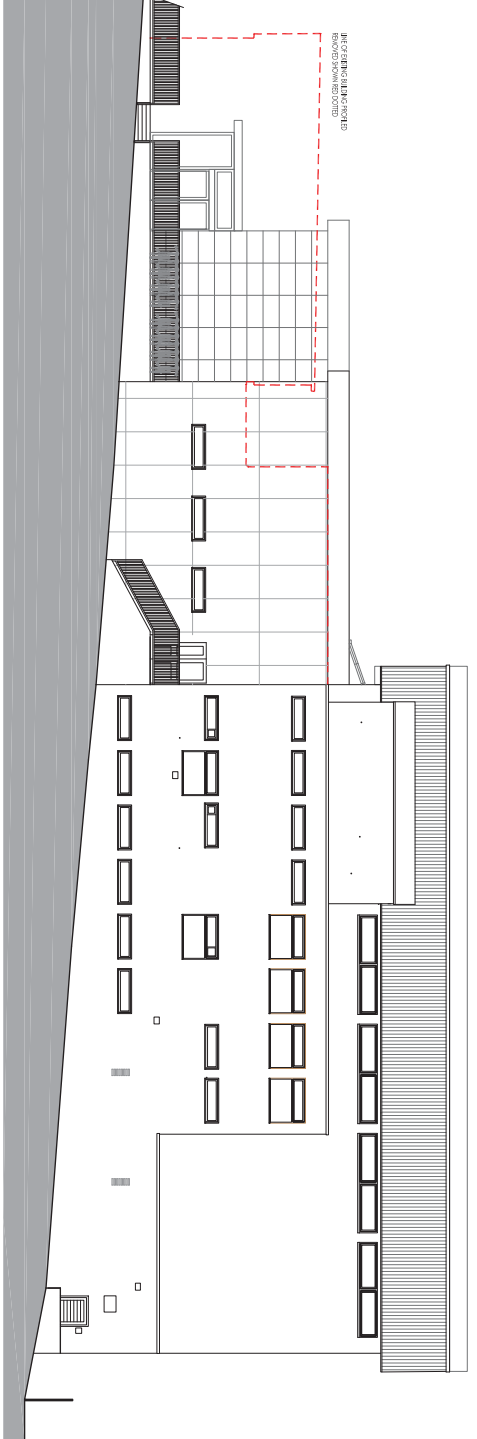
PROPOSED ELEVATIONS SHEET 1



NO.	SCALE	DATE	DESIGNER	CHECKER
1	1:100 @ A1	01.12.10	HCG	
2	3796		(P)	117



WEST (SIDE) ELEVATION - FACING RAILWAY LINE



EAST (SIDE) ELEVATION - FACING THE WELLS

- MA TERMS
- Laminated cladding panels - Trespa panels (or similar) colour: Grey, to match existing.
 - Front area cladding panels in wood grain finish, colour: Oak.
 - Roof/Fill - Single ply membrane.
 - New Glazing - PFC metal frames, colour: grey.
 - Existing Windows - Repoint all frames, colour: grey.
 - Existing Doors - Repoint all frames + doors, colour: grey.
 - External facias, Flou Louvers, Rollups and other Metalwork - finished colour: grey.

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PROJECT
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DATE
17/09/21

PROJ. NO.
1709@A1

DWG. NO.
M09

SCALE
1:100

REV.

PROPOSED ELEVATIONS SHEET 2

